

**TOWNSHIP OF EDWARDSBURGH CARDINAL
NOTICE OF PUBLIC MEETING CONCERNING
PROPOSED GENERAL ZONING BY-LAW AMENDMENT**

TAKE NOTICE that the Council of the Corporation of the Township of Edwardsburgh Cardinal will hold a **Public Meeting** at **6:00 p. m.** on **August 26, 2024**, in the Council Chambers at the Township Office 18 Centre Street, Spencerville, with respect to the proposed amendment:

- A proposed general amendment to Zoning By-law No. 2022-37, as amended, under the Section 34 of the *Planning Act*, R.S.O., 1990, Chapter P.13. The proposed zoning amendment has been municipally-initiated as a housekeeping amendment to revise various definitions, general provisions, and zoning provisions. In addition, the amendment also revises zoning provisions relating to Additional Residential Units and amends the Zoning Schedules with respect to floodplain delineation. The purpose and effect of the amendment is to address various zoning matters that have been identified by staff through experience in working with the Zoning By-law since the Zoning By-law was approved in 2022.

THE SUBJECT LANDS, being the entirety of lands within the corporate limits of the Township of Edwardsburgh Cardinal are not the subject of any other applications under the *Planning Act* that relate directly to the proposed Zoning By-law amendment. As the Zoning By-law amendment applies to lands within the entire Township, no key map has been provided herein.

ANY PERSON may attend the public meeting and/or make written or verbal representation either in support of or in opposition to the above item(s). The Township strongly encourages individuals to submit written comments in advance of the public meeting. In the event that you are unable to attend the meeting but wish to submit written comments, please attempt to ensure that your comments are delivered to the Community Development Officer no later than **September 16, 2024**. Additional information and material regarding the proposed amendments to the Township's Zoning By-law are available for public inspection by contacting the Community Development Officer at the address provided below.

IF A PERSON OR PUBLIC BODY would otherwise have an ability to appeal the decision of the Township of Edwardsburgh Cardinal to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Edwardsburgh Cardinal before the proposed Zoning By-law amendment is passed, the person or public body is not entitled to appeal the decision.

IF A PERSON OR PUBLIC BODY does not make oral submissions at a public meeting or make written submissions to the Township of Edwardsburgh Cardinal before the proposed Zoning By-law amendment is passed, the person or public body may not be added as a party to a hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

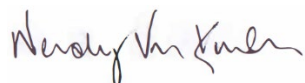
IF YOU ARE THE OWNER of any land that contains seven or more residential units, please post this notice in a location that is visible to all of the residents.

IF YOU WISH TO BE NOTIFIED of the decision of the Township of Edwardsburgh Cardinal with respect to the proposed Official Plan and/or Zoning By-law amendment, you must make a written request to the Township of Edwardsburgh Cardinal.

FOR MORE INFORMATION about this matter, including information about appeal rights, contact the Community Development Coordinator's office during regular business hours from Monday to Friday (tel: 613-658-3055 ext. 101; email wvankeulen@twpec.ca), or at the address below.

DATED AT THE TOWNSHIP OF EDWARDSBURGH CARDINAL
THIS 1st DAY OF AUGUST, 2024.

SIGNED:



WENDY VAN KEULEN,
COMMUNITY DEVELOPMENT COORDINATOR
TOWNSHIP OF EDWARDSBURGH CARDINAL
BOX 129
18 CENTRE ST.
SPENCERVILLE, ONTARIO K0E 1X0