

**THE CORPORATION OF THE
TOWNSHIP OF EDWARDSBURGH/CARDINAL
SITE PLAN CONTROL AGREEMENT**

THIS AGREEMENT made in triplicate this ____ day of _____, 2024

BETWEEN: DENIS SIMARD

Hereinafter called the "Owner" of the first part

AND: THE CORPORATION OF THE TOWNSHIP OF EDWARDSBURGH/CARDINAL

Hereinafter called the "Township" of the second part

WHEREAS the Owner has applied to the Township in accordance with the Site Plan Control provisions of Bylaw No. 2023-47, to permit the development of the lands described in Schedule "A" attached hereto;

AND WHEREAS the Owner has agreed with the Township to undertake, furnish and perform the works, material, matter and things required to be done, furnished and performed in the manner hereafter described in connection with the proposed use of the land and in conformity with the Zoning Bylaw;

NOW THEREFORE THIS AGREEMENT WITNESSETH THAT in consideration of other good and valuable consideration and the sum of two dollars (\$2.00) of lawful money of Canada now paid by the Owner to the Municipality, the receipt of which is hereby acknowledged, the Parties hereby agree as follows:

1. Land to Which this Agreement Applies

This is an agreement made pursuant to the provisions of Section 41 of the Planning Act, RSO 1990. as amended, and applies to the lands described in Schedule "A" to this agreement.

2. Statutes, Bylaws, Licenses, Permits and Regulations

The Owner undertakes and agrees that prior to the commencement of any development, redevelopment, site alteration, construction or other works, the Owner shall obtain all necessary permits and approvals required by the

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Government of Canada, the Province of Ontario or any agency thereof, the Township and any other affected agency. The Owner undertakes and agrees to comply with the requirements of all relevant municipal bylaws, provincial and federal statutes and regulations, permits, approvals or licenses in addition to the terms of this agreement.

3. Schedules

The Owner hereby agrees that prior written approval by the Township and/or an amendment to a Schedule shall be required for any departure, change or modification from the Schedules.

The following list of schedules attached hereto are deemed to be and form part of this Agreement:

- 3.1 Schedule "A" -Legal Description of the Land to which this Agreement applies.
- 3.2 Schedule "B" -Site Plan
- 3.4 Schedule "C" -Special Conditions

4. Registration of Agreement and Commencement of Work

The Owner covenants that he/she/they shall not commence any development or site alteration whatsoever until this Agreement is registered on title against the land at the expense of the Owner.

5. Completion Date

The owner agrees to complete the work required under this Agreement within two (2) years of the date of the commencement of works. Notwithstanding, if exceptional circumstances prevent the owner from complying with the requirements, the Township may extend the completion date.

6. Default

In the event the Owner defaults in the performance of an obligation under this agreement or for reasons of public safety as determined by the Chief Building Official under the Building Code Act of Ontario or the Fire Marshall under the Fire Protection & Prevention Act of Ontario, the Township may, at the expense of the Owner, enter upon the lands and do all such matters and things as may be required to comply with any Order of the Chief Building Official or Assistant to the Fire Marshall (local Fire Chief). Such actual costs incurred by the Township plus

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an overhead charge of 15%, shall be deemed to be recoverable from the Owner by invoice and may be recovered in like manner as municipal taxes pursuant to the Municipal Act.

7. Facilities and Work to be Provided and Maintained

The Owner covenants and agrees to provide and maintain, at his/her/their sole expense each and every facility, work or other matter illustrated on the Schedules to the satisfaction of the Township, acting in a commercially reasonable manner, and to engage qualified professionals, where required, to design and carry forth any of the work undertaken under this Agreement. This shall include the restoration of any faulty workmanship or materials.

8. Certificate of Compliance

Upon the satisfactory completion of all matters and things to be provided and maintained by the Owner pursuant to this Agreement, the Owner shall be entitled to obtain a Certificate of Compliance from the Township confirming that all provisions of this Agreement have been complied with in full to the date of such Certificate.

9. Notice to Parties

Any Notice by any party to this agreement to another shall be given in writing and mailed or delivered to the Party:

9.1 In the case of the Municipality:

To the Clerk of the Township of Edwardsburgh/Cardinal
18 Centre Street
P.O. Box 129
Spencerville, ON KOE 1X0

9.2 In the case of the Owner(s):

Denis Simard
163 Shanly Road
P.O. Box 640
Cardinal, ON K0E 1E0

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10. Severability

The terms of this agreement are severable, and the unenforceability of any part hereof shall not render the whole unenforceable. No forbearance or failure by the Township to strictly enforce any term or covenant herein shall prevent the Township from insisting upon strict compliance by the Owner subsequent to such forbearance or failure to strictly enforce its terms. The terms of this agreement may not be altered except by a subsequent agreement in writing between the parties.

11. Successors and Assigns

This Agreement shall ensure to the benefit of and be binding upon the respective heirs, personal representatives, successors and assigns of each of the parties hereto.

12. Force and Effect

This Agreement comes into force after it has been executed by all parties hereto and registered against the title to the lands described in Schedule "A".

IN WITNESS WHEREOF the Parties have hereunto set their hands and seals, corporate parties over the hand(s) of their duly authorized signing officers in that regard.

OWNER/AUTHORIZED AGENT

Owner
I have the authority to bind the corporation.

CORPORATION OF THE TOWNSHIP OF
EDWARDSBURGH/CARDINAL

Mayor

Clerk
We have the authority to bind the corporation.

**SITE PLAN CONTROL AGREEMENT
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SCHEDULE "A"

Site Plan Control Agreement

DESCRIPTION OF THE PROPERTY

PART 1 OF 15R-12378 (attached)

SCHEDULE				
PART	LOT	PLAN	PIN	AREA
1	PART OF 374, 375, 376, 377 & PART OF MARJORIE ST. (CLOSED BY BY-LAW 91-9, INST PR112030)	25	ALL OF 68151-0069(LT)	0.124 ha
2	PART OF 363, 364, 372, 373 & 374			0.183 ha

PLAN 15R-12378
 Received and deposited
 November 29th, 2023
 Kevin Oikonen
 Representative for the
 Land Registrar for the
 Land Titles Division of
 Grenville (No.15)

PLAN OF SURVEY OF
 LOT 374 & PART OF LOTS 363,
 364, 372, 373, 375, 376, 377
 & PART OF MARJORIE STREET
 (CLOSED BY BY-LAW 91-9,
 INST PR112030)
 REGISTERED PLAN 25
 FORMERLY THE VILLAGE OF CARDINAL
 TOWNSHIP OF EDWARDSBURGH/CARDINAL
 COUNTY OF GRENVILLE
 SCALE: 1:250

THE INTENDED PLOT SIZE OF THIS PLAN IS 914MM
 IN WIDTH BY 609MM IN HEIGHT WHEN PLOTTED AT
 A SCALE OF 1:250

LEGEND

- DENOTES PLANTED MONUMENT
- DENOTES FOUND MONUMENT
- SIB DENOTES STANDARD IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- IB DENOTES IRON BAR
- CM DENOTES CONCRETE MONUMENT
- CC DENOTES CUT CROSS
- CP DENOTES CONCRETE PIN
- FB DENOTES PLASTIC BAR
- IP DENOTES IRON PIPE
- Ø DENOTES ROUND
- WIT DENOTES WITNESS
- ACC DENOTES ACCEPTED
- MEAS DENOTES MEASURED
- INST DENOTES INSTRUMENT
- x-x DENOTES FENCE
- SU DENOTES SOURCE UNKNOWN
- P1 DENOTES PLAN 15R-7798
- P2 DENOTES PLAN 15R-8130
- P3 DENOTES PLAN 15R-8679
- P4 DENOTES PLAN 15R-9601
- P5 DENOTES PLAN 15R-11455
- P6 DENOTES PLAN 15R-11787
- P7 DENOTES REGISTERED PLAN 25

ALL BEARINGS AND DISTANCES AGREE WITH CITED PLANS
 UNLESS OTHERWISE NOTED.

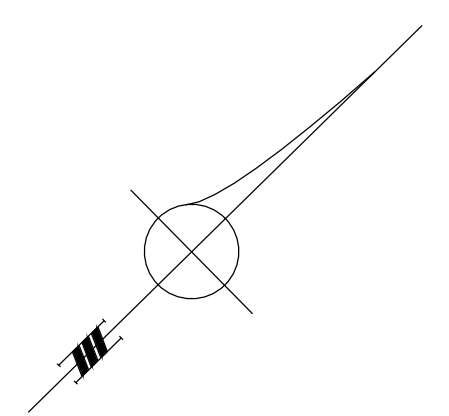
BEARING NOTES
 BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE
 POINTS A AND B, BY REAL TIME NETWORK OBSERVATIONS, UTM
 ZONE 18, NAD83(CRS)S(2010).
 FOR BEARING COMPARISONS, THE FOLLOWING ROTATION WAS
 APPLIED:
 P1, P2, P3, P4 = 00°04'20" CLOCKWISE

DISTANCE NOTES - METRIC
 DISTANCES AND COORDINATES ARE IN METRES AND CAN BE
 CONVERTED TO FEET BY DIVIDING BY 0.3048
 DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY
 MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.9996029.

SURVEYOR'S CERTIFICATE
 I CERTIFY THAT:
 1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE
 WITH THE SURVEYS ACT, THE SURVEYORS ACT, THE LAND
 TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
 2. THE SURVEY WAS COMPLETED ON OCTOBER 31, 2023.

NOVEMBER 28, 2023
 DATE
 THIS PLAN OF SURVEY RELATES TO AOLS PLAN
 SUBMISSION FORM NUMBER V-64752

INTEGRATION DATA			
OBSERVED REFERENCE POINTS DERIVED FROM GPS OBSERVATIONS USING A REAL TIME NETWORK AND ARE REFERRED TO UTM ZONE 18 (75° WEST LONGITUDE) NAD83(CRS)S(2010).			
URBAN ACCURACY PER SEC. 14(2), O.REG. 216/10.			
POINT ID	NORTHING	EASTING	
A	4959520.82	4694402.24	
B	4959618.70	469536.38	
CAUTION: COORDINATES CANNOT IN THEMSELVES BE USED TO RE-ESTABLISH CORNERS OR BOUNDARIES SHOWN ON THIS PLAN			
IBWSURVEYORS.COM 1.800.667.0696			
PARTY CHIEF: BP DRAWN BY: BM CHECKED BY: RJ PLOT DATE: •			
FILE NAME: A-044883-V2 copies available at LandSurveyRecords.com			



**SITE PLAN CONTROL AGREEMENT
BETWEEN DENIS SIMARD AND
THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

SCHEDULE "B"

Site Plan Control Agreement

SITE PLAN

EXHIBITS: The following Exhibits attached hereto shall form part of this Schedule:

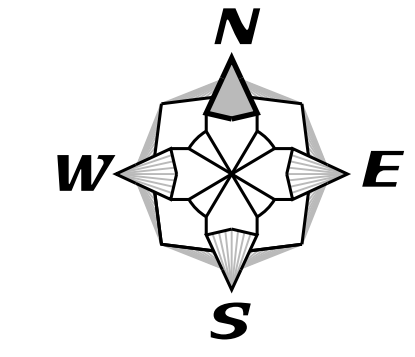
Exhibit 1- SP1 Existing Conditions

Exhibit 2- SP3 Site Plan Control

Contractor to Verify ALL DIMENSIONS of proposed elements before layout / construction. All work to be in accordance with the latest edition of the Ontario Building Code and Local By-Laws. These plans are under the full responsibility and liability of the Home Owner, Builder and/or Contractor listed as the Project Client/Builder. Annable Designs Co. Ltd. and the undersigned waives any and all responsibility and/or liability for problems which arise from failure to follow the plans (as a whole and in complete form) and the design intent in which they convey, or from problems which arise from failure to obtain and/or follow the design firm guidance with respect to any errors, omissions, inconsistencies, ambiguities or conflicts which are alleged.

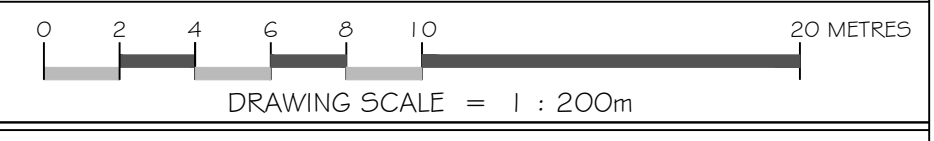
Annable Designs Co. Ltd.

All Official Plans are stamped with RED INK of our "Official Plans for Permit / Construction" stamp. In addition to our BCIM holders sign-off. If plans are not in original red ink and signed they are to be considered invalid plans / not for official use and should be reported to our offices immediately.



Site Plan (EXISTING CONDITIONS)

Being: LOT 374 & PART OF LOTS 363, 364, 372, 373 375, 376, 377 & PART OF MARJORIE STREET REGISTERED PLAN 25 Formerly the Village of Cardinal TOWNSHIP OF EDWARDSBURGH-CARDINAL COUNTY OF GRENVILLE



CAUTION - NOT PLAN OF SURVEY Annable Designs Co. Ltd. IS NOT an Ontario Surveyor/Firm. This Plan IS NOT a Legal Plan of Survey. This Plan should be read as a Compiled Plan of Data Available to the Public. This Plan shall not be used for any other purpose except for the purpose indicated in the Title Block.

ELEVATION NOTES:

E1. ELEVATIONS SHOWN ON THIS PLAN ARE GEODETIC AND HAVE BEEN DERIVED FROM GPS, NAD83, CGRS 1987, AS PROVIDED BY CANMET GEODNETWORK. OBSERVED & COLLECTED BY ANNABLE DESIGNS CO. LTD. ON 14-06-2024

BOUNDARY / DATA USE:

BD1. ANNABLE DESIGNS CO IS NOT A REGISTERED LAND SURVEYOR AND THIS PLAN SHALL NOT BE USED AS A PLAN OF LEGAL SURVEY. FOR ALL PROPERTY LINE DISPUTES AND/OR PROPER IDENTIFICATION OF BOUNDARY CONTACT A LOCAL ONTARIO LAND SURVEYOR FOR A BUILDING LOCATION SURVEY. BD2. DATA COLLECTED FROM THE SUBJECT SITE AND ADJUTING PROPERTIES HAS BEEN DONE IN A PROFESSIONAL AND TECHNICALLY TRAINED MANNER. ANNABLE DESIGNS CO. HAS USED COMMON PRACTICES AND KNOWLEDGE WITH THE ASSISTANCE OF SPECTRA PRECISION (GPS) EQUIPMENT.

GENERAL DESIGN NOTES:

D1. THIS SITE PLAN SHOULD BE READ IN CONJUNCTION WITH THE PROJECT DESIGN PLANS THAT HAVE BEEN PREPARED BY ANNABLE DESIGNS CO. LTD. D2. ALL DESIGN ELEMENTS AND SITE CONSTRUCTION FEATURES ILLUSTRATED SHALL CONFIRM TO THE EXISTING OFFICIAL PLANS AND ZONING BY-LAWS OF THE MUNICIPALITY. IN ADDITION TO ALL PROVINCIAL GUIDELINES, STANDARDS, AND REQUIREMENTS.

GENERAL SITE NOTES:

GS1. THIS PLAN IS NOT A PLAN OF SURVEY. ILLUSTRATED INFORMATION FOR: BOUNDARY, ELEVATIONS, SITE TOPOGRAPHY FEATURES HAVE BEEN COMPILED FROM AVAILABLE: REFERENCE PLAN & SRPR PREPARED BY IBW SURVEYORS (NOV. 2023) GS2. DISTANCES SHOWN ON THIS PLAN ARE IN METRIC (METERS) AND CAN BE CONVERTED TO IMPERIAL (FEET) BY DIVIDING BY 0.3048. GS3. A SITE INSPECTION WITH MEASUREMENTS HAVE BEEN CONDUCTED BY ANNABLE DESIGNS CO. LTD. TO CONFIRM FOCUSED ELEMENTS OF THE SITE AND STRUCTURES OF THE SUBJECT LANDS. THEREFORE SOME ILLUSTRATED FEATURES ON THIS PLAN ARE TO BE CONSIDERED "ASSUMED" AND "FOR ILLUSTRATION ONLY" GS4. OWNER / GENERAL CONTRACTOR TO CONTACT UTILITY COMPANIES TO DETERMINE TYPE / LOCATION / CONFIGURATION OF ANY AND ALL SERVICES. GS5. OWNER / GENERAL CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY ALL DIMENSIONS / ELEVATIONS / SETBACKS PRIOR TO THE START OF ANY CONSTRUCTION AND/OR DEMOLITION.

PLAN LEGEND: Includes symbols for existing and proposed buildings, roads, fences, and utility poles. Includes a note about subject lands boundary and a municipal feature legend for town zoning setbacks.

Did you know we much more than Design Firm? Lists services such as Residential Design, Business/Action Design, and Construction Design Consulting.

OUR PLANS SPEAK THE RIGHT LANGUAGE! BCIM CERTIFIED ARCHITECTURAL DIPLOMA - 25 YEARS EXP. CONSTRUCTION ENGINEERING DIPLOMA - E&O INSURANCE

Annable Designs Residential Design-Consulting-Planning. Includes contact information for Brockville offices: 224 King Street West, Brockville, Ontario. Phone: 613-926-5350.

Table with 4 columns: #, By, Date of Rev., Description of Revision. Includes a 'REVISIONS & RELEASES' section at the bottom.

PROJECT ID NUMBER: 1722. SHEET NUMBER: SP1. Includes a signature line for Annable Designs Co. Ltd. and a 'Rev. 06' stamp.

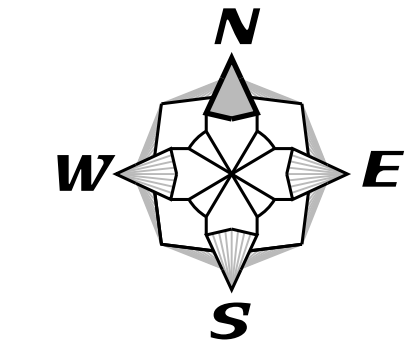
PLAN CERTIFICATION / VALIDATION. Text stating that if the signature is not in Original RED Ink, the plan is not for official use.



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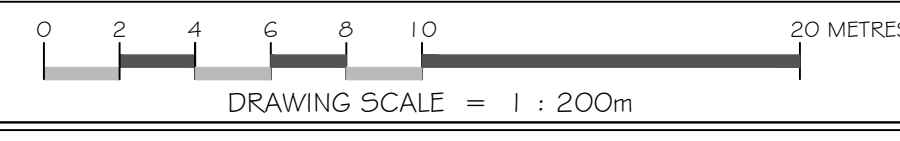
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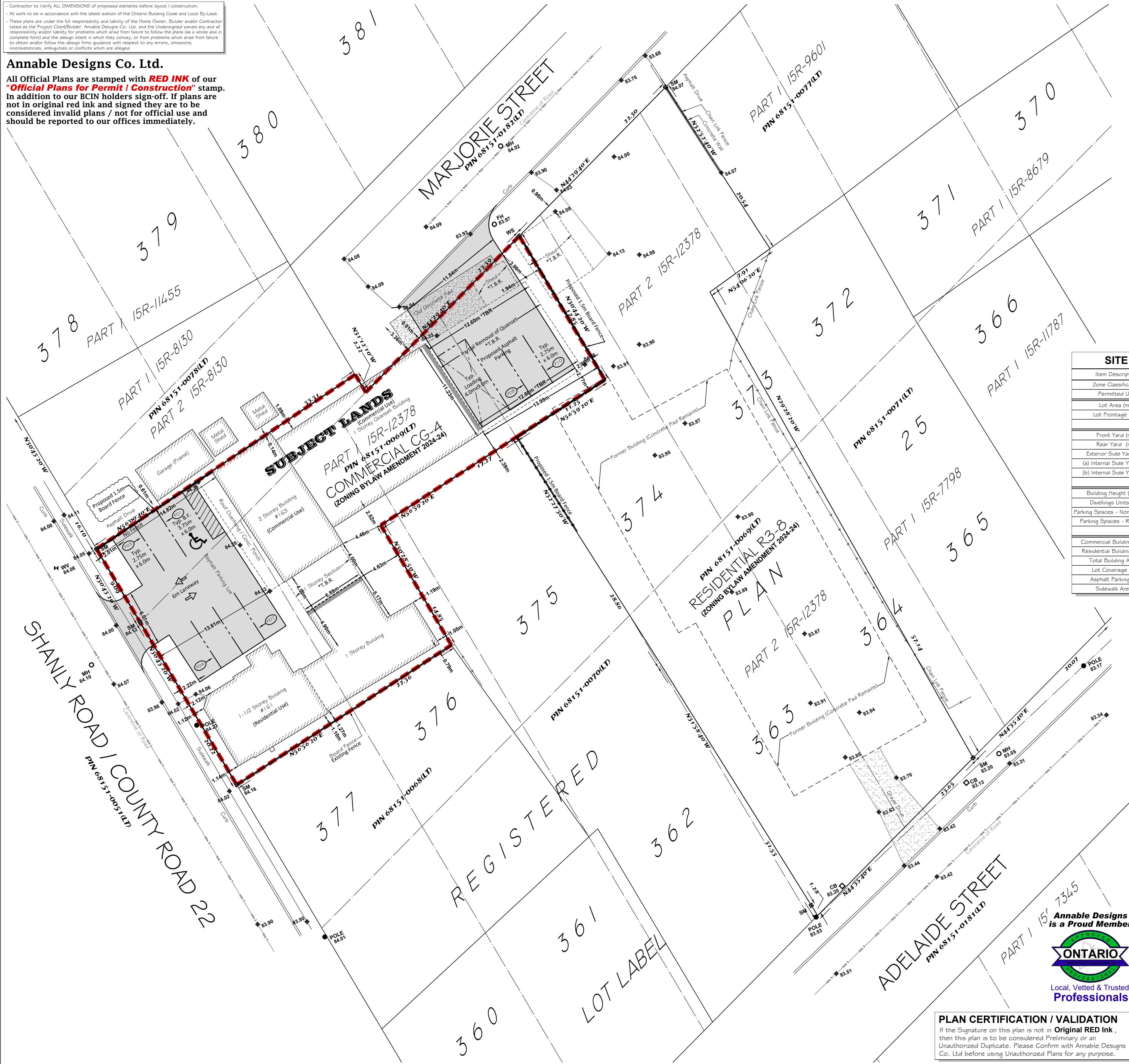


Site Plan Control

For:
DENIS SIMARD
 Being:
 LOT 374 & PART OF LOTS 363, 364, 372, 373
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SITE AND ZONING STATISTICS & PROPOSALS			
Item Description	Requirement	Proposed Structure	Notes
Zone Classification	CG-4	CG-4	---
Permitted Use	VARIOUS	VARIOUS	---
Lot Area (min)	1000.0 sqm	1242.31 sqm	---
Lot Frontage (min)	20.0	29.31 m	CG-4 states "Shanly Road"
Front Yard (min)	7.5 m	Varies as Illustrated	CG-4 states "Shanly Road"
Rear Yard (min)	7.5 m	Varies as Illustrated	"Marjorie Street"
Exterior Side Yard (min)	7.5 m	n/a	---
(a) Internal Side Yard (min)	3.0 m	Varies as Illustrated	---
(b) Internal Side Yard (min)	3.0 m	Varies as Illustrated	---
Building Height (means)	10.0 m	10.36 m	---
Dwellings Units (max)	12 units	12 units	---
Parking Spaces - Non-Residential	9	9	*as per CG-4 ZBA
Parking Spaces - Residential	1 per Dwelling Unit	1	*as per CG-4 ZBA
Commercial Building Area(s)	---	318.2 sqm	---
Residential Building Area(s)	---	202.3 sqm	---
Total Building Area(s)	---	520.5 sqm	---
Lot Coverage (max)	45%	42%	*as per CG-4 ZBA
Asphalt Parking Area	---	360.6 sqm	---
Sidewalk Area(s)	---	---	---

ELEVATION NOTES:

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 GS5. OWNER / GENERAL CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO VERIFY ALL DIMENSIONS / ELEVATIONS / SETBACKS PRIOR TO THE START OF ANY CONSTRUCTION AND/OR DEMOLITION.

PLAN LEGEND:

- 9.99m (Exist) - DENOTES Existing Building Tie
- DENOTES Existing Building
- DENOTES Existing Gravel Surface
- DENOTES Existing Concrete Surface
- DENOTES Existing Fence Line
- DENOTES Existing Hydro Service
- DENOTES Centre-Line of Road
- DENOTES Existing Spot Elevation
- DENOTES Survey Monument (Round)
- DENOTES Wood Stake (on site)
- DENOTES Existing Utility Pole
- DENOTES Existing Tree Trunk
- DENOTES Existing Water Valve
- DENOTES Existing Catch Basin
- DENOTES Existing Catch Basin

MUNICIPAL FEATURE LEGEND

- DENOTES Town Zoning Setback

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- Commercial Kitchen Design
- Signage / Consultation Services
- Interior Renovation Consulting
- Topographic Data Collection
- Site-Built Measurements
- Compliance Reviews
- Site-Planning Consulting
- Digitization & 3D Rendering
- Commercial Design Consulting
- Development Consulting
- Planning Applications / Report
- Digitization & 3D Rendering

OUR PLANS SPEAK THE RIGHT LANGUAGE!
 BCIM CERTIFIED ARCHITECTURAL DIPLOMA - 25 YEARS EXP.
 CONSTRUCTION ENGINEERING DIPLOMA - E&O INSURANCE

Planning Consultant / Design Consultant:
THE ORIGINAL CO.
Annable Designs
 RESIDENTIAL DESIGN-CONSULTING-PLANNING
 EST. 2012
 Brockville Offices: 224 King Street West, Brockville, Ontario
 613-926-5350
 info@annabledesigns.ca
 www.annabledesigns.ca

#	By	Date of Rev.	Description of Revision
6	DTA	AUG 16-24	REVISED & REISSUED : as per authorities comments
5	DTA	JULY 12-24	OFFICIAL RELEASE : APPLICATION
4	DTA	JULY 11-24	ISSUED : issued for final client approval & sign-off
3	DTA	JUNE 20-24	ISSUED : issued for pre-consultation to authorities
2	DTA	JUNE 18-24	PRELIMINARY : for client comment & review
1	DTA	JUNE 14-24	IN OFFICE : processing & preparing from site survey / data
-	DTA	MAY 21-24	OFFICE : project & design initiated internally

PROJECT ID NUMBER: **1722** SHEET NUMBER: **SP3**

COMPLETION DATE: MAY 2024
 COMPUTER NO: 1722-SP3.DWG
 CAD BY: D. T. ANNABLE
 SCALE: 1 : 200m
Rev. 06

ANNABLE DESIGNS Co. Ltd.
 (FIRM) DAVID T. ANNABLE - SR. DESIGNER

PLAN CERTIFICATION / VALIDATION
 If the Signature on this plan is not in Original RED Ink, then this plan is to be considered Preliminary or an Unauthorized Duplicate. Please Confirm with Annable Designs Co. Ltd before using Unauthorized Plans for any purpose.



SCHEDULE "C"

Site Plan Control Agreement

SPECIAL CONDITIONS

1. Location of Building Structures and Facilities

Building structures and facilities shall be located as per the Site Plan forming Schedule "B" to this Agreement.

2. Servicing

The property must be serviced by municipal water and sewer services and all water discharge to sanitary and storm sewers must be in accordance with the Township's Sewer Use Bylaw.

3. Site Access & Roads

The site shall be accessed as per the site plan forming Schedule "B" to this agreement. A permit shall be obtained from the road authority prior to the establishment of any new entranceway or any extension or relocation of the existing entranceway.

The parking surface area shall be maintained with a stable hard surface such as concrete or asphalt.

4. Refuse Storage and Disposal

The property shall be maintained in a neat and tidy condition and all refuse shall be deposited in proper containers which are screened from view. The owner shall be responsible for the disposal of refuse from his/her/their property.

5. Snow Removal

Snow removal is the responsibility of the owner.

6. Demolition

A demolition permit shall be obtained from the Township prior to the demolition of any buildings or structures on the property.

As per the Environmental Site Assessment by St. Lawrence Testing, dated November 29, 2022, the floor and ceiling tiles are to be tested for asbestos prior to beginning any demolition work. A designated substance report shall be provided to

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THE TOWNSHIP OF EDWARDSBURGH CARDINAL**

the Township's Chief Building Official prior to any building or demolition permit being issued.

7. Lighting

Illuminated/lighted signage and lighting shall be designed, installed and maintained to:

- i) Prevent light spill over or glare onto the County road allowance; and
- ii) Prevent light spill over or glare onto the neighbouring residential properties; and
- iii) Prevent light from falling within the vision of motorists in such a manner as to create a traffic hazard; and
- iv) Not diminish or detract from the effectiveness of any traffic signal or similar safety or warning device,

as determined by the Director of Public Works of the United Counties of Leeds and Grenville or his/her designate.

8. Fence and Screening

Fencing shall be installed as shown on the plans forming Schedule "B" to this agreement. Required fencing shall be opaque, with a minimum height of 1.5m to provide screening for adjacent land uses. The fence shall be maintained by the Owner to the satisfaction of the Chief Building Official.

Fencing requirements may be changed without an amendment to this agreement, subject to meeting the provisions of the Township's Zoning Bylaw, and subject to the written approval of the Township's Chief Administrative Officer.